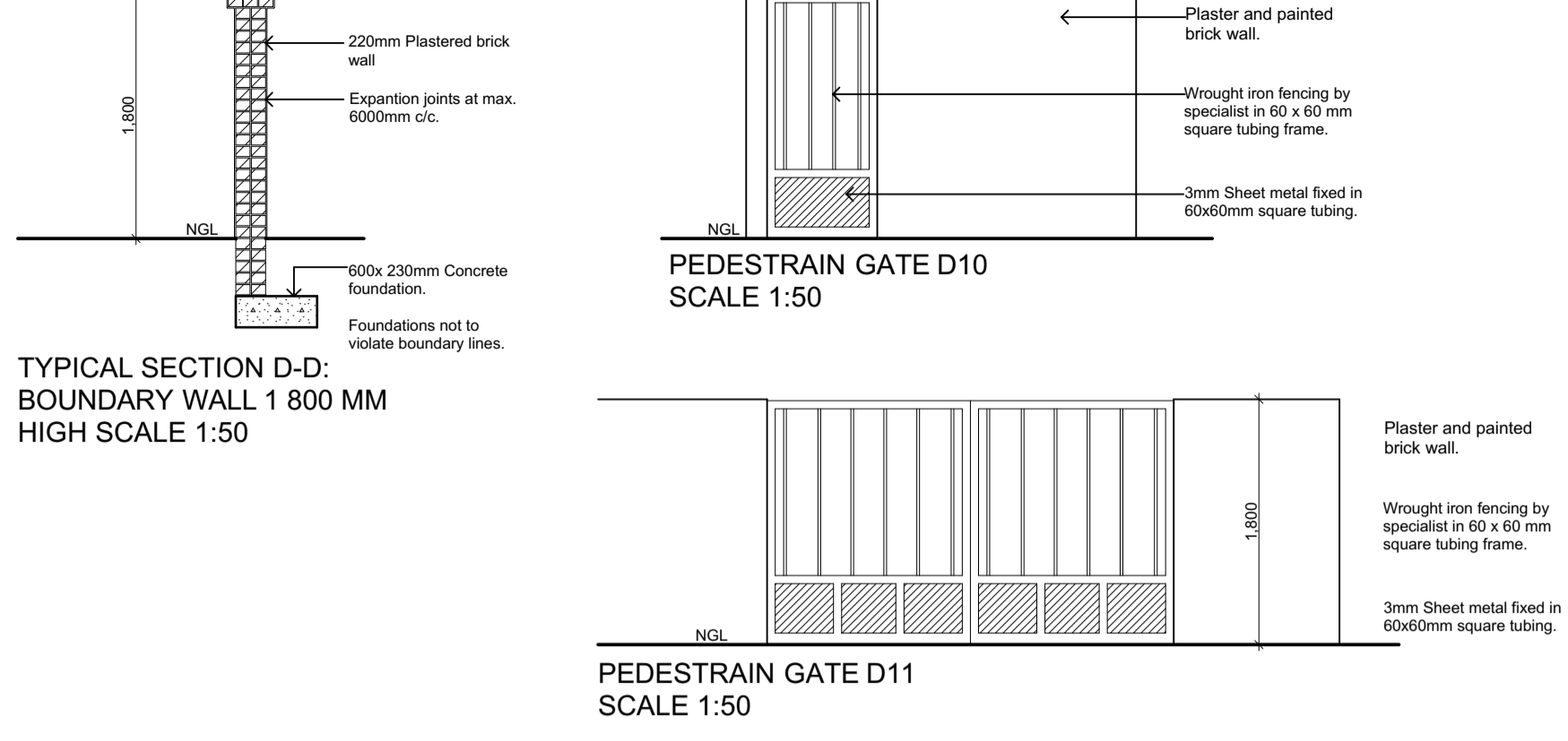


SITE PLAN SCALE 1:100

- A. ROOF CONSTRUCTION**
- Global Roofing Solutions 0.58mm thick 406mm cover Klop-Lok 406" profile 2275 spacer (S2555) galvanneal steel roof sheeting, fixed to timber intermediate purlins at 2500mm centres and eaves and ridge purlins at 2100mm centres using KL 65 clips fixed with 10No. 11 x 45mm long self-drilling water head PH2 screws, type 17 drill point fasteners, all in accordance with the manufacturer's specifications.
  - Concrete slab as designed by engineer with screed laid to falls. Apply 1 layer Derbigum SP4 waterproofing membrane with 75mm side and 100mm end laps, sealed to tuben primed surface to falls and crossfalls by torchfusion" including protection of 75mm thick layer clean 19-20mm crushed stone and all exposed surfaces painted with two coats aluminium paint. Waterproofing to be installed by an Approved Derbigum Contractor under a 5-year guarantee. Waterproofing to concrete surface. Substrate to be clean, dry and free of all dust. Prime surface with one coat Master Primer and allow to dry. Apply two coats of Arystar Super first coat spreadrate 2.0 - 2.5kg/m<sup>2</sup> and second coat 1.5 - 2.0kg/m<sup>2</sup> spreadrate with 6 hours overcoating time, all in accordance with manufacturer's recommendations.
  - Beam filling to roof covering and sealed on inside with cement up to tile.
  - 114x38mm SA Pine wall plate. Roof anchoring 2 x 4mm galvanneal wire built into brickwork to minimum 600mm on correct c/c distances. Paint wall plate 2x coats crosscoat.
  - Robertson Ventilation Industries / Cot Screening Louvre System or similar approved by client comprising of aluminium universal single bank extruded "E" series type ESC louvre blades fixed horizontally at 15mm pitch and angle of 45° with mixed corners fixed to total coverage anodised aluminium frames, etc. clipped to 2mm aluminium mullions at centres specified by manufacturer and fixed to steel support structure elsewhere specified in accordance with structural engineer's design) 1.6mm aluminium sheet sill and frames to be fixed with all necessary peripheral fixings.

**COVERAGE:**  
**SITE AREA: 500 m<sup>2</sup>**  
**NEW HOUSE:**  
**FIRST FLOOR: 126 m<sup>2</sup>**  
**BALCONIES: 36 m<sup>2</sup>**  
**SUB TOTAL: 162 m<sup>2</sup>**  
**GROUND FLOOR: 145 m<sup>2</sup>**  
**GARAGE (OUTSIDE WALL MEASUREMENT): 70 m<sup>2</sup>**  
**SUB TOTAL: 215 m<sup>2</sup>**  
**BACK STOEP: 9 m<sup>2</sup>**  
**ENTRANCE STOEP: 8 m<sup>2</sup>**  
**ENTERTAINMENT STOEP: 31 m<sup>2</sup>**  
**TOTAL: 48 m<sup>2</sup>**  
**TOTAL GROUND AND FIRST FLOOR: 410 m<sup>2</sup>**  
**COVERAGE: 49 %**

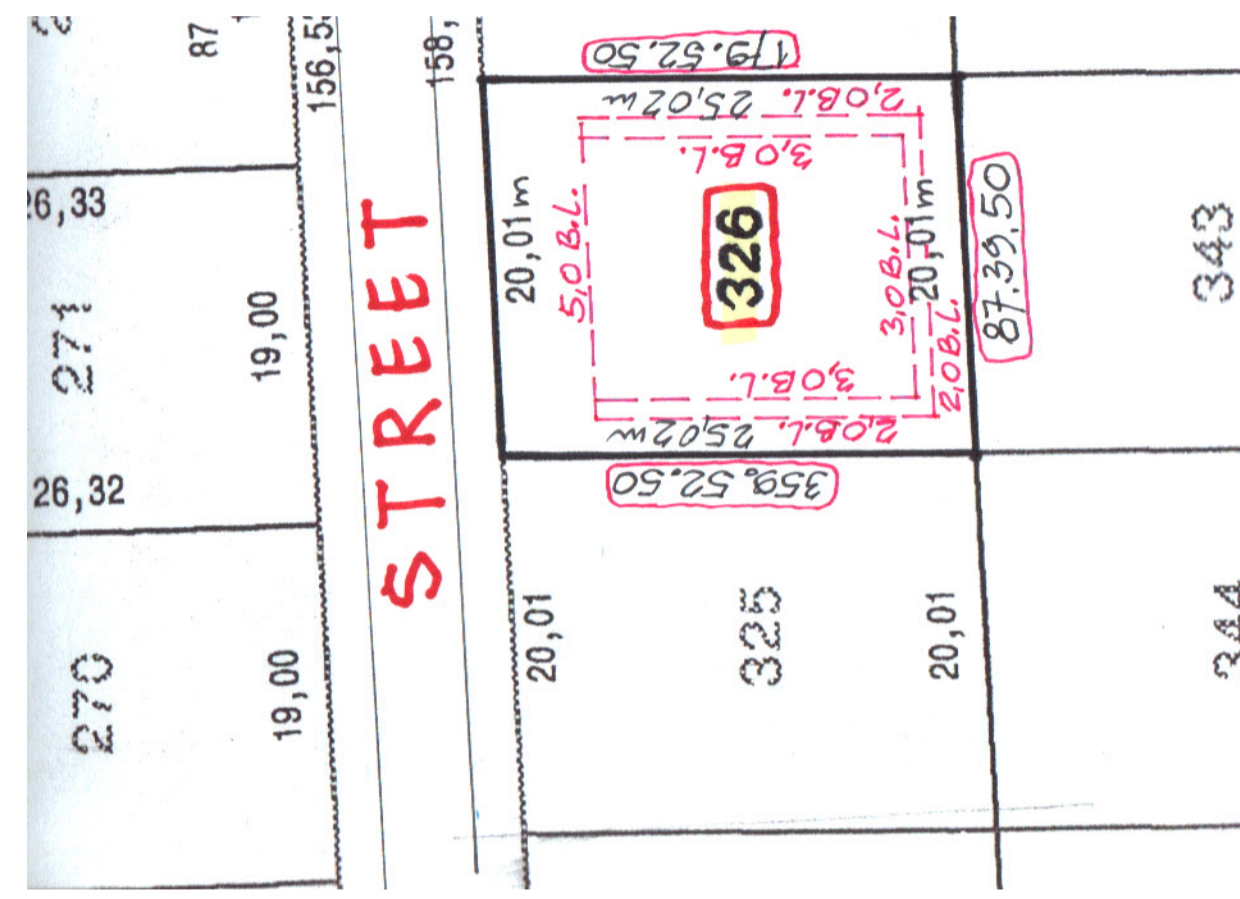
**DETAIL DRAWINGS OF THE BOUNDARY FENCE**



TYPICAL SECTION D-D: BOUNDARY WALL 1 800 MM HIGH SCALE 1:50

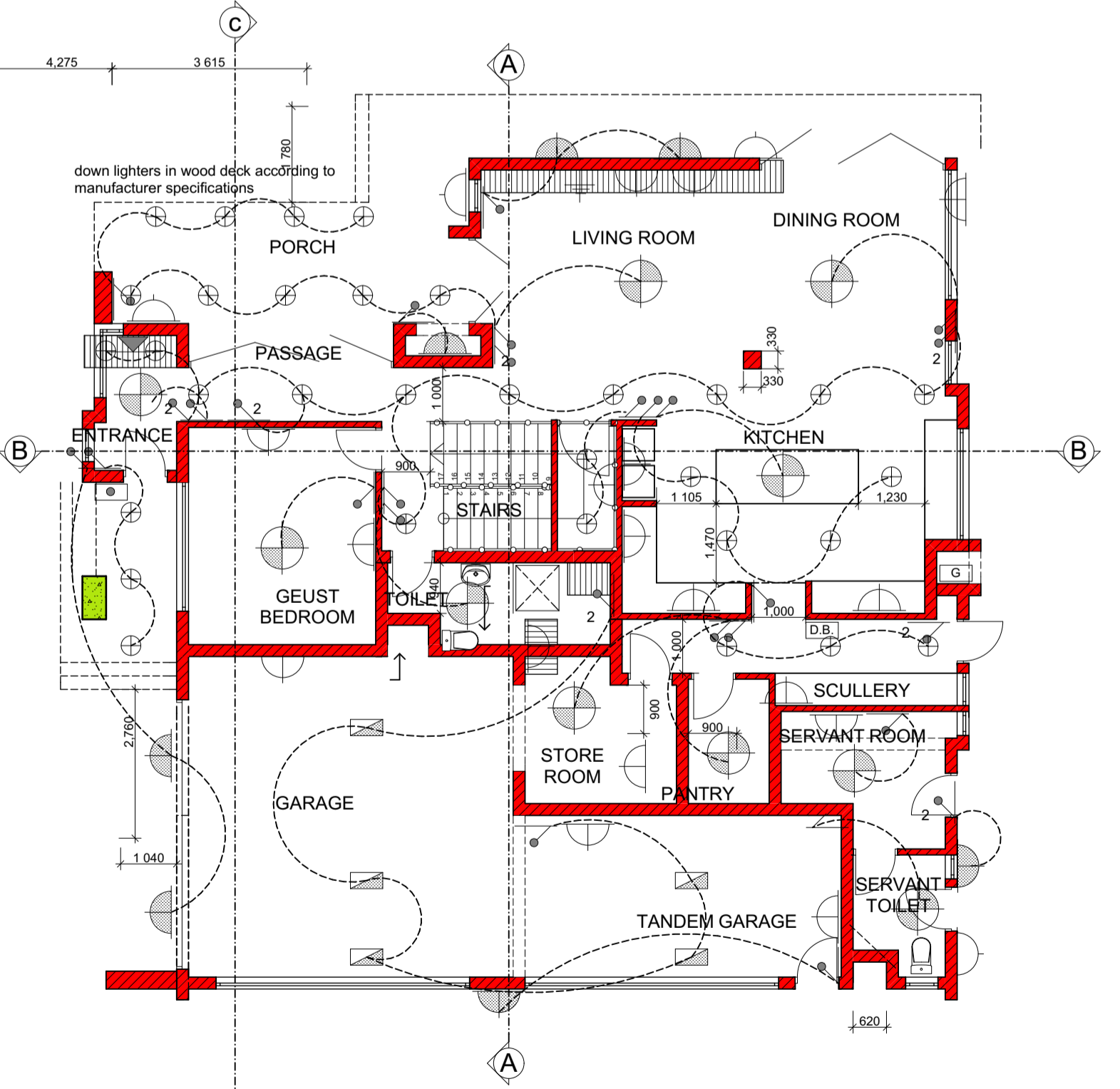
PEDESTRAIN GATE D10 SCALE 1:50

PEDESTRAIN GATE D11 SCALE 1:50

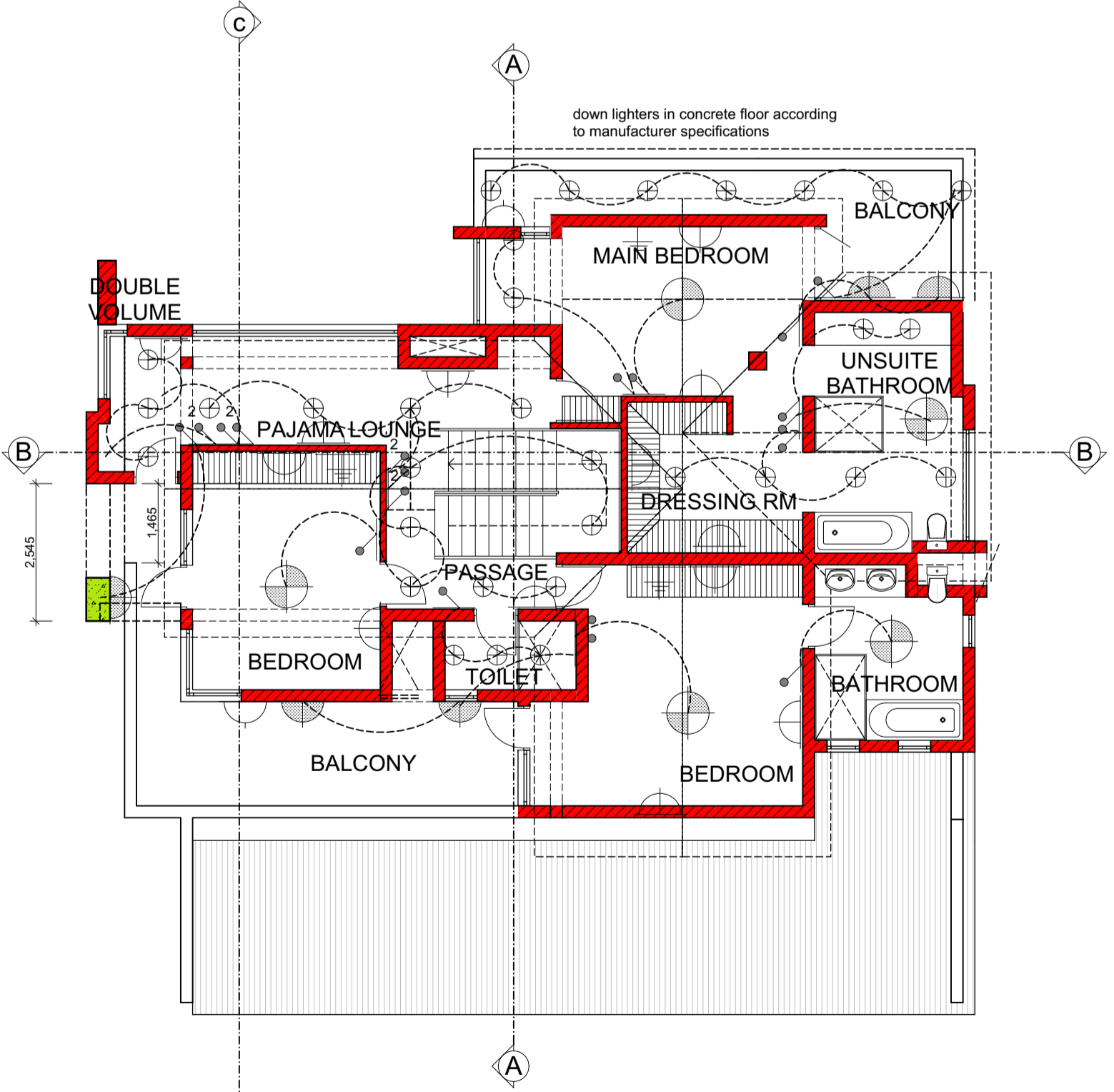


- GENERAL:**
- This drawing is copyright reserved and remains the property of the architect.
  - All work to be executed in strict compliance with SABS 0400
  - All dimensions to be checked on the site and any discrepancies to be reported to the Architect immediately before commencing with any work.
  - Written dimensions to be used in preference to scaled dimensions.
  - Drawings may not be scaled from prints.
  - All electrical and drainage work to be executed by registered artisans.
  - Where required, Architect's drawings to be read in conjunction with Engineer's drawings.
  - Where required, Architect's drawings to be read in conjunction with Manufacturer's specification.
  - All specified or equal approved specifications to be used.
  - Finished floor levels to be a minimum of 150mm above natural ground level unless otherwise shown. Firewalls to underside of roof covering. Minimum 150mm threshold plus fire door to garage where interlocking with house.
  - All doors to the exterior that open outwards are to have a 15mm step up to the inside of the door leaf, and those opening inward are to have a 15mm step up along the longitudinal centreline of the door leaf.
  - All concrete foundations to be a minimum of 600mm x 200mm unless shown otherwise. Top of concrete foundation to be a minimum of 300mm below ground level unless otherwise shown.
- DRAINAGE**
- All plumbing work to be carried out by licensed Drainlayers and plumbers.
  - IE's to all bends and junctions to be easily accessible. IE's to have marked covers at ground level. Rodding eyes to be provided where necessary.
  - All soil pipes to be 100mm diameter glazed earthenware or pvc drains and to have a minimum fall of 1:60. Top of drain to be at least 300mm below G.L.
  - All waste pipes to be 50mm internal diameter. All waste fittings to have deep "T" recessed traps and to be fully accessible for repairs and cleaning.
  - All vent pipes to extend 900mm above roof level. Waste pipes exceeding 6m to be vented. S.V.P.'s to all W.C's having more than 1200mm vertical discharge.
  - All soil and waste fittings to be accessible along their entire length for maintenance and repairs. All drains are to be accessible at 24m centres by means of M.H.'s or cleaning eyes. A manhole to be provided within 1.2m of the stand boundary.
  - All drains under building to be straight runs, with IE's at the ends. The works to be encased in 100mm concrete. (15MPa min.)
  - Stormwater to run naturally with slope.
  - All paving to be laid to falls.
- WATERPROOFING AND DAMPPROOFING**
- 375 micron brickgrip/polythene D.P.C.
  - D.P.C.'s under all walls and screen walls to be 150mm above finished ground level.
  - D.P.C.'s under eaves, behind weather boards and under ridge tiles. Vertical D.P.C.'s to all changes in floor level. Surface beds to be on approved waterproofing forming a continuous sealed membrane with the D.P.C.'s under walls. Flashings to all changes of roof levels and to chimneys. Impervious copings to all parapets.
  - Remove stormwater from building and site.
  - Waterproofing to roof slabs: All waterproofing to roof slabs to be Derbigum SP4 sheeting, all to be laid (including flashing and counter-flashing) strictly in accordance with manufacturer's instructions, with UB7 bituminous paint to all exposed surfaces and guaranteed unconditionally for ten years.
- NATURAL LIGHT AND GLAZING**
- All habitable rooms to have a minimum 10% natural light.
  - All glazing to comply with part N of the N.B.R. and SABS 0137-2000 Code of Practice: safety and laminated glass to conform to SABS 1263.
  - Aluminium doors and windows to conform to A.A.A.M.S.A. standards.
  - Minimum thickness of glazing panes: panes not exceeding 0,75sq.m=3mm thick, panes not exceeding 1,5sq.m=4mm thick, panes exceeding 1,5sq.m=6mm thick.
  - Safety glass to window panes lower than 300mm from finished floor level.

**ELECTRICAL LAYOUT PLANS: SCALE AS SHOWN**



ELECTRICAL GROUND FLOOR PLAN SCALE 1:100



ELECTRICAL FIRST FLOOR PLAN SCALE 1:100

**ELECTRICAL LEGEND**

F	Lighting: Floodlight	M	Meter Box
☉	Centre Ceiling light	⊙	Power point
☽	Wall light	⊖	Outside power point - waterproof
☽	Outside wall light - waterproof	⊖	Switch socket outlet
☽	Florecent light	DB	Distribution board
⚡	Light switch	G	Hot water geyser
⚡	Pull/Pendent light switch	B	Bell
⚡	2 Way light switch	☎	Telephone point
⚡	3 Way light switch	ⓧ	T.V. point
⚡	Dimmer light switch	ⓧ	Down lighters

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NO		DATE		DESCRIPTION		CHECKED	SCALE		CONSULTANT		ARCHITECTS		CLIENT/EMPLOYER		PROJECT DESCRIPTION		PAPER SIZE			
00						YVH	AS SHOWN	DESIGN	YVH		YOLANDE VAN HEERDEN ARCHITECTS	MNR BRINK	NEW DWELLING: HOUSE BRINK	A1						
						YVH		DRAWN	YVH		PR ARCH 20510	HERON HILL ESTATE ERF 326 BOARDWALK X 16 PRETORIA	DRAWING DESCRIPTION	DRAWING NO.						
						YVH		CHECKED	YVH				FLOOR & SITE PLANS, ELEVATIONS AND DETAILED SECTIONS	2015-01-01						
															CLIENT	DATE				