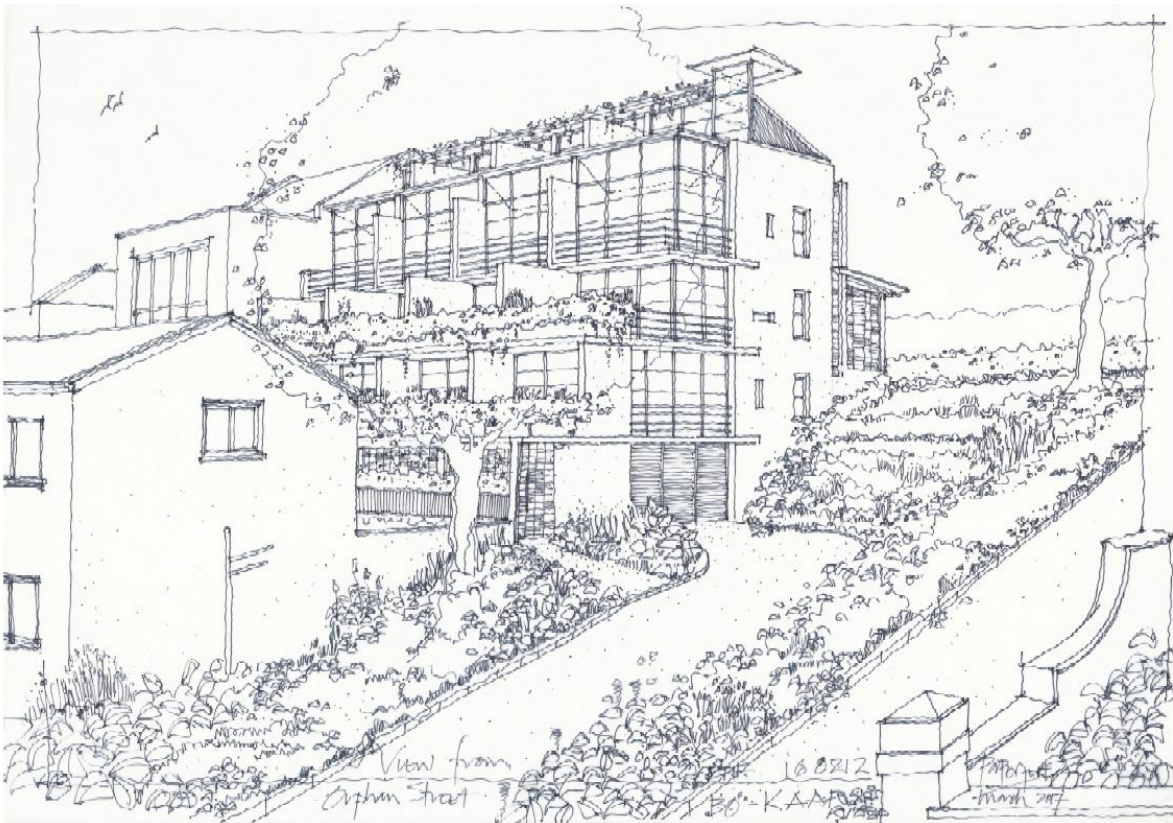


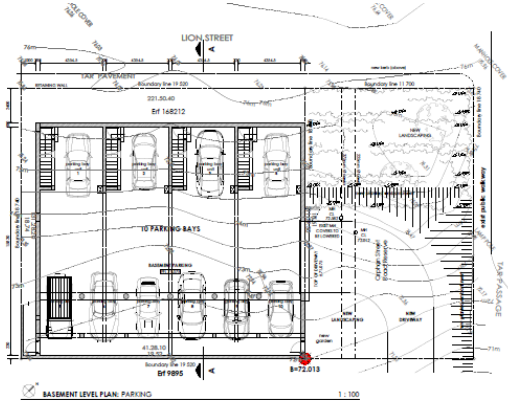
37 LION STREET



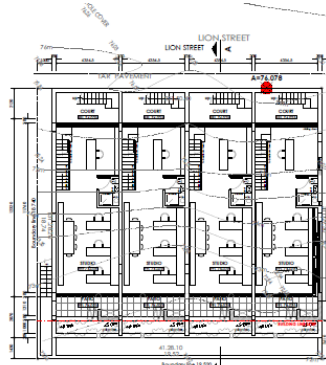
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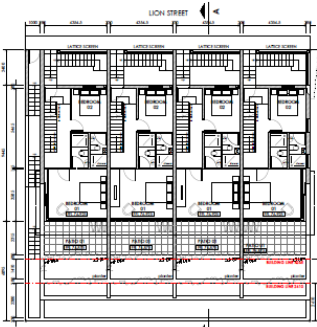
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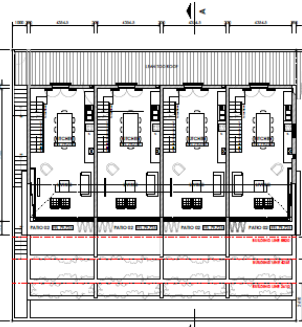
BASEMENT LEVEL PLAN, PARKING 1:100



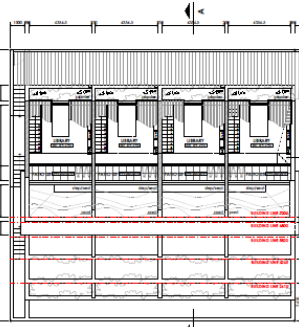
LOWER GROUND FLOOR LEVEL PLAN, STUDIO 1:100



GROUND FLOOR LEVEL PLAN, BEDROOMS 1:100



FIRST FLOOR LEVEL PLAN, KITCHEN / LIVING 1:100



ROOF LEVEL PLAN, ROOF DECK 1:100

NOTES

B718213, Lion Street, 37 Lion Street

PROPOSED NEW ROW HOUSES FOR BA PERFECT & AN BICOME B718213, 37 LION STREET, B.O. - KAAP

SKETCH PLANS - PLANS

DATE: 11/08

PROJECT: SKY9000 01 F

ARCHITECTS: RICHARD PERFECT ARCHITECTS

111 LITTLE LITTLEFIELD STREET, BICOME NSW 2212

PH: 02 9390 1111

WWW: WWW.RICHARDPERFECT.COM

PROJECT NO: 1111

DATE: 11/08

PROJECT: SKY9000 01 F

ARCHITECTS: RICHARD PERFECT ARCHITECTS

111 LITTLE LITTLEFIELD STREET, BICOME NSW 2212

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PROJECT NO: 1111

NOTES

B718213, Lion Street, 37 Lion Street

PROPOSED NEW ROW HOUSES FOR BA PERFECT & AN BICOME B718213, 37 LION STREET, B.O. - KAAP

SKETCH PLANS - PLANS

DATE: 11/08

PROJECT: SKY9000 01 F

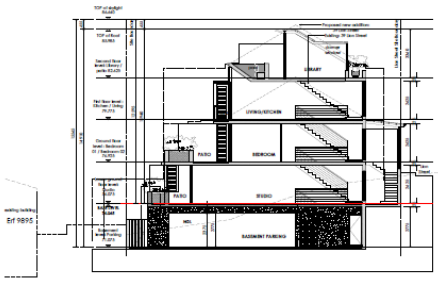
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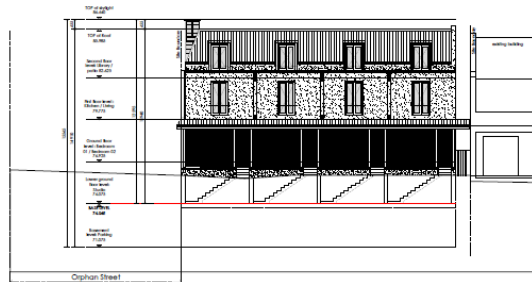
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WWW: WWW.RICHARDPERFECT.COM

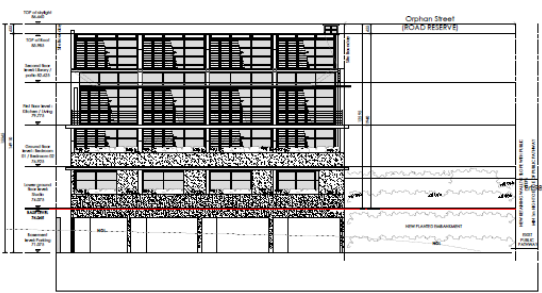
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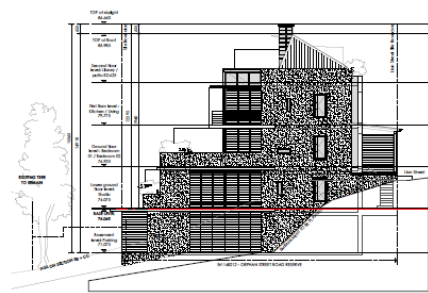
SECTION A-A 1:100



NORTH (LION STREET) ELEVATION 1:100



SOUTH ELEVATION 1:100



EAST (ORPHAN STREET) ELEVATION 1:100

NOTES

B718213, Lion Street, 37 Lion Street

PROPOSED NEW ROW HOUSES FOR BA PERFECT & AN BICOME B718213, 37 LION STREET, B.O. - KAAP

SKETCH PLANS - SECTION A-A & ELEVATIONS

DATE: 11/08

PROJECT: SKY9000 02 E

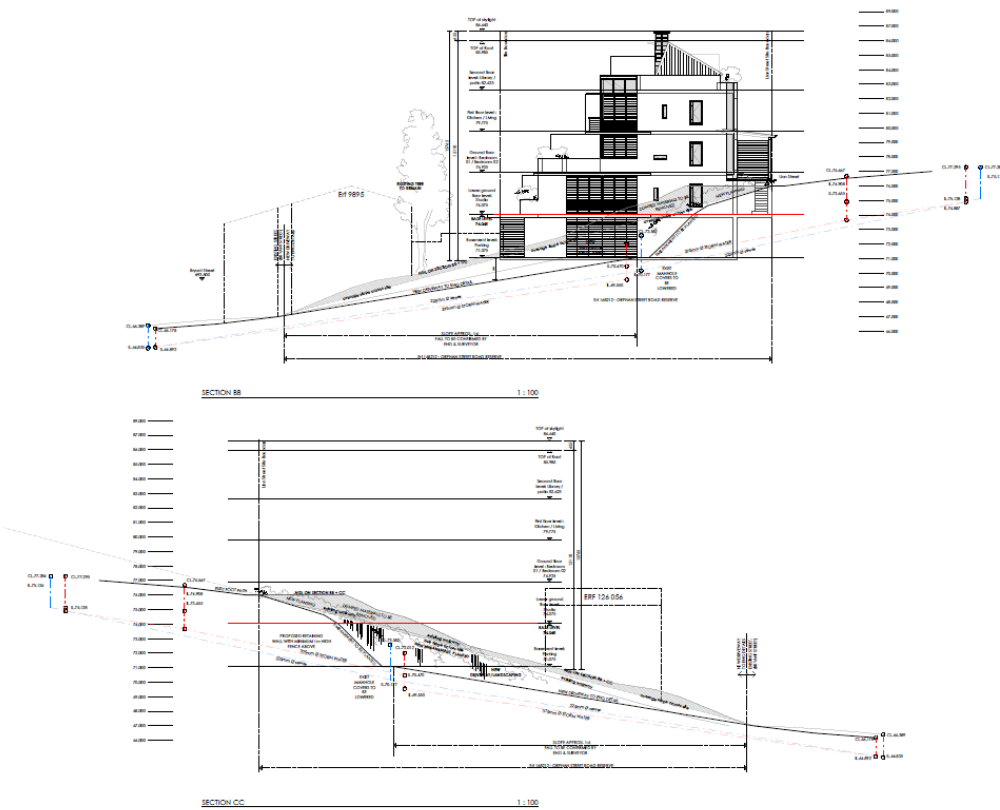
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111 LITTLE LITTLEFIELD STREET, BICOME NSW 2212

PH: 02 9390 1111

WWW: WWW.RICHARDPERFECT.COM

PROJECT NO: 1111



NOTES

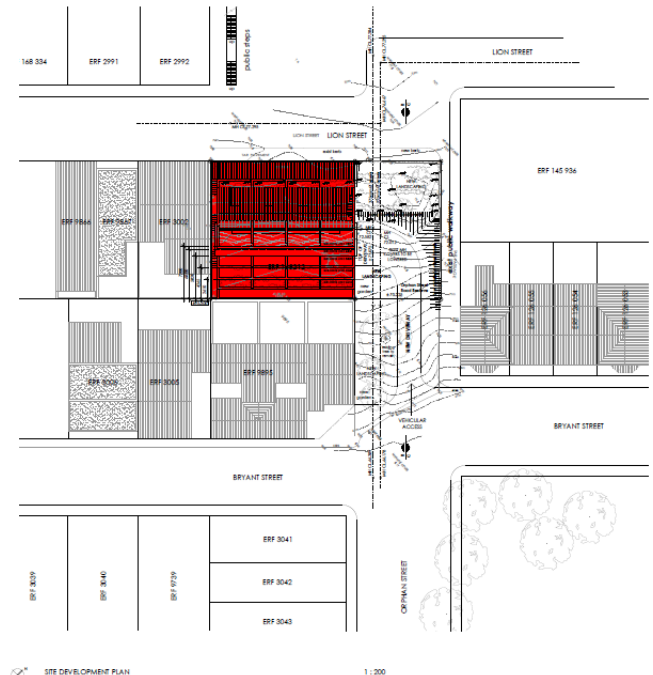
RICHARD PERFECT | ARCHITECTS
 122 LINDSEY STREET, SYDNEY NSW 1585
 TEL: 02 9550 1234 FAX: 02 9550 1235
 WWW: RICHARDPERFECT.COM.AU

PROJECT: PROPOSED NEW ROW HOUSES FOR WATERFORD LANE
 BIRDMERE EPP 158212, 37 LION STREET, BO-KAAP

DATE: 04/09/2014

PROJECT NO: JK 9000 | 04

SKETCH PLANS - SECTION BB & CC



NOTES

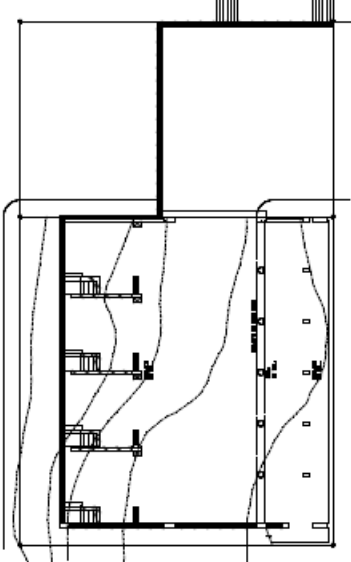
RICHARD PERFECT | ARCHITECTS
 122 LINDSEY STREET, SYDNEY NSW 1585
 TEL: 02 9550 1234 FAX: 02 9550 1235
 WWW: RICHARDPERFECT.COM.AU

PROJECT: PROPOSED NEW ROW HOUSES FOR WATERFORD LANE
 BIRDMERE EPP 158212, 37 LION STREET, BO-KAAP

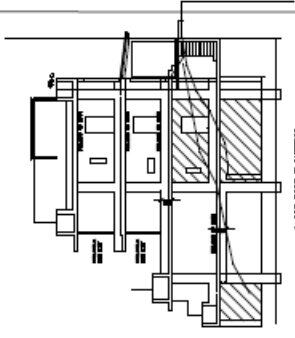
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PROJECT NO: JK 9000 | 03

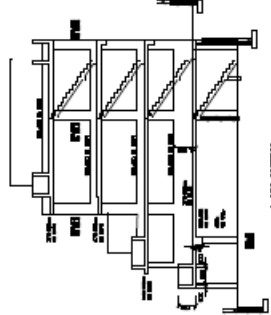
SKETCH PLANS - SITE DEVELOPMENT PLAN



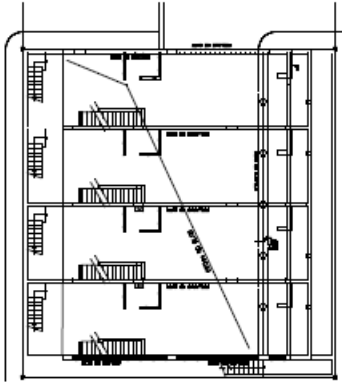
1-100 SHEET P.L. #1



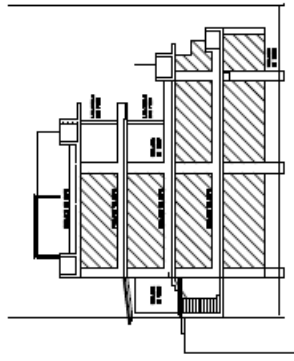
1-100 EAST ELEVATION



1-100 SECTION



1-100 STUDY PLAN
1-100 STUDY PLAN



1-100 WEST ELEVATION

NO.	DESCRIPTION	DATE
001	GENERAL CONTRACT	11/15/2023
002	FOUNDATION	11/15/2023
003	STRUCTURE	11/15/2023
004	MECHANICAL	11/15/2023
005	ELECTRICAL	11/15/2023
006	PLUMBING	11/15/2023
007	PAINT	11/15/2023
008	LANDSCAPE	11/15/2023
009	INTERIORS	11/15/2023
010	EXTERIORS	11/15/2023
011	ASPHALT	11/15/2023
012	CONCRETE	11/15/2023
013	STEEL	11/15/2023
014	WOOD	11/15/2023
015	GLASS	11/15/2023
016	BRICK	11/15/2023
017	STONE	11/15/2023
018	ROOFING	11/15/2023
019	MECHANICAL	11/15/2023
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021	PLUMBING	11/15/2023
022	PAINT	11/15/2023
023	LANDSCAPE	11/15/2023
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032	STONE	11/15/2023
033	ROOFING	11/15/2023
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036	PLUMBING	11/15/2023
037	PAINT	11/15/2023
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099	INTERIORS	11/15/2023
100	EXTERIORS	11/15/2023

GENERAL CONTRACTOR: [Name]
 ARCHITECT: [Name]
 ENGINEER: [Name]
 DATE: 11/15/2023

NO.	DESCRIPTION	DATE
001	GENERAL CONTRACT	11/15/2023
002	FOUNDATION	11/15/2023
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CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD

DEVELOPMENT MANAGEMENT

P HEYDENRYCH
SENIOR PROFESSIONAL OFFICER

T: 021 400 6458 F: 021 421 4665
E: appeals.tableboy@capetown.gov.za
Case ID: 70263506

BLUM017

8 July 2020

Dear Sir / Madam

APPLICATION FOR PROPOSED REZONING, DEPARTURES AND CITY APPROVAL IN TERMS OF THE MUNICIPAL PLANNING BY-LAW, 2015: ERF 168212 CAPE TOWN, 37 LION STREET, AND PORTION OF ORPHEN STREET, BO-KAAP

This letter is addressed to the applicant or to an objector in the case where there has been an objection to the above application.

The application with reference 70263506 in the above regard refers.

The Municipal Planning Tribunal (MPT) on 03 March 2020 **approved** in terms of section 98 of the City of Cape Town Municipal Planning By-Law, 2015 (MPBL), the above mentioned application.

This approval is subject to the conditions set out in **attached** Annexure A.

Kindly note, this rezoning approval will lapse within 5 years after the effective date of decision (as contemplated in section 105(2) [see footnote] of the MPBL), unless it complies with section 47(1) [see footnote] of the MPBL.

Kindly note, this permanent departure approval will lapse if not exercised within 5 years after the effective date of decision (as contemplated in section 105(2) [see footnote] of the MPBL), unless it complies with section 47(1) [see footnote] of the MPBL.

Kindly also note, this city approval will lapse if not exercised within 5 years after the effective date of decision (as contemplated in section 105(2) [see footnote] of the MPBL), in terms of section 38(1) [see footnote] of the MPBL.

In the case of a rezoning, consent use or departure, the owner must notify the City in writing within the lapsing period or extended lapsing period that the land is being used in accordance with the approval, failing which the rezoning, consent use or departure is presumed to have lapsed.

Kindly also note where applicable, the above approval does not guarantee approval of any related building plan application in terms of the National Building Regulations and Building Standards Act, No 103 of 1977 and that building work may therefore only commence once such plans are formally passed.

Reasons for the above decision are set out in the **attached** extract of the authorised official report and minutes of the meeting concerned dated 03 March 2020.

Should the reasons for the above decision not be contained in this notification you are advised in terms of section 104(2)(c) of the MPBL and section 5 of the Promotion of Administrative Justice Act, No 3 of 2000 that you are entitled to request in writing reasons for the above decision.

In terms of section 108(1) of the City of Cape Town Municipal Planning By-Law, 2015, you may appeal to the Appeal Authority against the above decision by giving written notice of the appeal and grounds of appeal and by completing and signing the prescribed form.

An appeal, including the written notice and the grounds of appeal (and not only the intention to appeal), must be lodged on the prescribed form (the form can be downloaded here: <http://www.capetown.gov.za/LandUseAppeals>) with the City Manager, c/o the Table Bay District Manager, at the following email address: appeals.tablebay@capetown.gov.za within **21 days of the date of notification of the decision**. If the appeal cannot be lodged by email it may be hand delivered to the Table Bay District Secretary Roslind Butterson, on 2nd floor, Media City Building, corner of Hertzog and Heerengracht Boulevards, Cape Town **within 21 days of the date of notification of the decision**. See definition of notification date to be read together with the provisions of the Interpretation Act 1957 in footnote below to determine the closing date for submission. If this letter has been sent to you by registered mail, then it is your responsibility to establish the date stamped upon the receipt for registration issued by the post office when accepting this notice from the City of Cape Town. You will need to contact the post office and use the tracker number on the envelope for this purpose.

Failure to comply with the above requirements and provisions within section 108 of the MPBL will result in the appeal being ruled invalid.

Kindly note that the operation of the approval of this application is suspended until such time as the City gives notice that no appeal has been lodged and the decision is effective or the date that the appeal is decided by the appeal authority. If an appeal is lodged against a condition of approval the City may determine that the operation of the approval of the application is not suspended.

Yours faithfully



P Haydenrych
for **DIRECTOR : DEVELOPMENT MANAGEMENT**

Notes and extracts from sections of the City of Cape Town Municipal Planning By-Law, 2015

36 General lapsing provision

- (1) Unless otherwise specified in this By-Law, an approval granted or deemed to have been granted in terms of this By-Law to use or develop land lapses two years after the effective date of decision –
- (a) where the land is not used in accordance with the approval; or
 - (b) where an improvement of land is required in order to use the land in accordance with the approval, lawful commencement of construction has not occurred.

47 Lapsing of rezoning, consent use or departure

- (1) A rezoning, other than a rezoning to a subdivisional area zoning, consent use or permanent departure approved or deemed to have been approved in terms of this By-Law lapses five years after the effective date of the decision –
- (a) where the land is not used in accordance with the approval; or
 - (b) where an improvement of land is required in order to use the land in accordance with the approval, lawful commencement of construction has not occurred.

105 Effective date of decision

MEDIA CITY BUILDING, 2ND FLOOR,
CNR ADDERLEY STREET AND HERTZOG BOULEVARD CAPE TOWN, 8001

- (2) The effective date of a decision in terms of this By-Law is –
- (a) the date that the City gives notice that no appeal has been timely lodged and that the decision is accordingly effective; or
 - (b) subject to subsection (3), if an appeal is timely lodged, the date that the appeal is decided by the appeal authority.
- (3) If an appeal is lodged only against a condition imposed in terms of section 100, the City may determine that the operation of the approval of the application is not suspended.

Method and date of notification

The date of notification is determined as follows:
if the notification is provided –

- (a) orally, it is the date of oral communication;
- (b) by hand, it is the date of delivery or collection;
- (c) by registered post, it is regarded as the fourth day after the date stamped upon the receipt for registration issued by the post office which accepted the notice; or
- (d) by email or fax, it is the date that the email or fax is sent.

Interpretation Act No 33 of 1957 section 4

- (4) Reckoning of number of days. – When any particular number of days is prescribed for the doing of any act, or for any other purpose, the same shall be reckoned exclusive of the first and inclusive of the last day, unless the last day happens to fall on a Sunday or on any public holiday, in which case the time shall be reckoned exclusive of the first day and exclusive also of every such Sunday or public holiday.

As an example, if the date of notification is 1 October, then the first day of calculation of the 21 day appeal period will be 2 October and the 21st day would be 22 October. If 22 October is either a Sunday or a public holiday, then the closing date will be the next following day that is not either a Sunday or a public holiday.

The MPT at its meeting of 03/03/2020 resolved as follows:

Report Subject	WARD 77: APPLICATION FOR PROPOSED REZONING, DEPARTURES AND CITY APPROVAL IN TERMS OF THE MUNICIPAL PLANNING BY-LAW, 2015: ERF 168212 CAPE TOWN, 37 LION STREET, AND PORTION OF ORPHEN STREET, BO-KAAP. ID:70263506 P HEYDENRYCH/G SEPTEMBER
Meeting Date	03/03/2020
Date Sent	23/03/2020
Directorates	SPATIAL PLANNING AND ENVIRONMENT
Author	Paul Heydenrych;
Author Contact No	
Delegation Information	0(0)
Agenda Item No	MPTNW 19/3/2020
Preamble	Mr Heydenrych introduced the application. Ms Poking from Bo-Kaap Ratepayers Association addressed the panel and spoke against the application Messrs Andrew Pratt and Richard Perfect spoke in support of the application Ms Poking was given an opportunity to rebut Panel discussion ensued.
Resolution	Approved
Resolution Details	UNANIMOUSLY RESOLVED that: a. The application for rezoning of Erf 168212 Cape Town from General Residential GR4 to General Residential GR5 BE APPROVED in terms of Section 98(b) of the Cape Town Municipal Planning By-Law, 2015. b. The application for permanent departures, as set out on Annexure A, for Erf 168212 Cape Town BE APPROVED in terms of Section 98(b) of the Municipal Planning By-Law, 2015, subject to the conditions as attached in Annexure A. c. That the application for City approval in terms of the Development Management Scheme, as set out in Annexure A, for Erf 168212 Cape Town, BE APPROVED in terms of Section 98(b) of the City of Cape Town Municipal Planning By-Law, subject to the conditions as attached in Annexure A. REASONS FOR DECISION The MPT APPROVED the application for the reasons set out in the Planner's Report. Annexure A: Amend 2nd bullet point in paragraph 2.1.1 to read as follows: Removal of the staircases/steps within the studio level with only internal access permitted between floors within each dwelling unit. Add: The tower element to be omitted Add: The applicant should engage with the Director: Development Management with respect to the aesthetics of the building on the Bryant Street façade Correct numbering sequence starting from 2.8 onwards FOR INFORMATION: HEYDENRYCH / SEPTEMBER
How Resolved	Consensus



CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD

DEVELOPMENT MANAGEMENT

P HEYDENRYCH
SENIOR PROFESSIONAL OFFICER

T: 021 400 6458 F: 021 421 4665
E: appeals.tablebay@capetown.gov.za
Case ID: 70263506

BLUM018

19 AUGUST 2020

Dear Sir / Madam

APPLICATION FOR PROPOSED REZONING, DEPARTURES AND CITY APPROVAL IN TERMS OF THE MUNICIPAL PLANNING BY-LAW, 2015: ERF 168212 CAPE TOWN, 37 LION STREET, AND PORTION OF ORPHEN STREET, BO-KAAP

Further to my letter dated 8 July 2020 in the above regard, you are advised that the above application has been **approved** by the Municipal Planning Tribunal on 3 March 2020 (see copy of decision letter **attached**), which decision is now being appealed by an objector in terms of section 108(1) of the City of Cape Town Municipal Planning By-Law, 2015, a copy of which is also **attached** for your information.

You are hereby afforded the opportunity to comment on these appeals. Comments must be lodged with the City Manager, c/o the Table Bay District Manager, at the following email address: appeals.tablebay@capetown.gov.za within **21 days of the date of this notification**. If the comments cannot be lodged by email it may be hand delivered to the Table Bay District Secretary [Roslind Butterson, 2nd Floor, Media City, cnr Hertzog Boulevard & Heerengracht Cape Town] **within 21 days of the date of this notification**. See definition of notification date in footnote below to determine the closing date for submission. If this letter has been sent to you by registered mail, then it is your responsibility to establish the date stamped upon the receipt for registration issued by the post office when accepting this notice from the City of Cape Town. You will need to contact the post office and use the tracker number on the envelope for this purpose.

All enquiries on the appeal can be directed to the case officer listed in the heading of this letter.

Kindly note, the City's previous decision has been suspended and the application may therefore not be acted upon until such time as this appeal process has been finalised and parties have been advised accordingly.

Yours faithfully

for **DIRECTOR : DEVELOPMENT MANAGEMENT**

MEDIA CITY BUILDING, 2ND FLOOR,
CNR ADDERLEY STREET AND HERTZOG BOULEVARD CAPE TOWN, 8001



CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD

DEVELOPMENT MANAGEMENT

P HEYDENRYCH
SENIOR PROFESSIONAL OFFICER

T: 021 400 6444 F: 021 400 6444
E: paul.heydenrych@capetown.gov.za

BLUM022

15 JANUARY 2021

Andrew Pratt Town Planning
P O Box 16059
Vlaeberg
8018

FINAL NOTIFICATION LETTER

Dear Sir / Madam

APPLICATION FOR PROPOSED REZONING, DEPARTURES AND CITY APPROVAL IN TERMS OF THE MUNICIPAL PLANNING BY-LAW, 2015: ERF 168212 CAPE TOWN, 37 LION STREET, AND PORTION OF ORPHEN STREET, BO-KAAP

My previous correspondence dated 8 July 2020 and 19 August 2020 and the subsequent appeal refers.

I wish to advise that the appeal was **dismissed** as per the attached decision dated 14 January 2021 and that the process has therefore now been concluded.

Accordingly, the decision may now be acted upon, subject to compliance with the conditions detailed in the letter dated 8 July 2020.

Note that in the case of a rezoning, consent use or departure, the owner must notify the City in writing within the lapsing period or extended lapsing period that the land is being used in accordance with the approval, failing which the rezoning, consent use or departure is presumed to have lapsed.

Yours faithfully

Paul Heydenrych
for **DIRECTOR : DEVELOPMENT MANAGEMENT**



**CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD**

CCT01988440000010022019PH



**RICHARD ANDREW PERFECT
1 CLIFTON STEPS
CLIFTON
8005**

OWNER NAME: PERFECT RICHARD & BRÖOME ANDREW

<p>PUBLIC NOTICE CALLING FOR INSPECTION OF THE 2022 GENERAL VALUATION ROLL AND LODGING OF OBJECTIONS</p> <p>This communication contains:</p> <ul style="list-style-type: none"> The new valuation of the property. Information about the public inspection and objection process. Public inspection venues. General questions and answers. 	<p>ISAZISO ESILULISWE KULUNTU SEKHWELO LOKUBA KUHLOLWE ULUHLU LEZOQINGQO MAXABISO NGOKUPHANG-ALILEYO LWANGO 2022 NOKUNGENISWA KWEZICHASO</p> <p>Le mbalelwano iqulathe:</p> <ul style="list-style-type: none"> Uqingqo maxabiso olutsha lwepropati. Inqaciso yenkqubo yohlobo luluntu kwaneyokufaka iichaso. Uluhlu lweendawo zohlobo zokunlu. Iimbuzo ngokubanzi naempendulo. 	<p>OPENSARE KENNISGEWING OOR BESIGTING VAN DIE ALGEMENE WAARDASIELYS VIR 2022 EN INDIENING VAN BESWARE</p> <p>Hierdie kommunikasie bevat:</p> <ul style="list-style-type: none"> Die nuwe waardasie van die eiendom Inligting oor die proses vir openbare insae en beswaar Lokale vir openbare insae Algemene vrae en antwoorde
<p>In terms of the provisions in sections 48 and 49 of the Municipal Property Rates Act, Act 6 of 2004, hereinafter referred to as the Act, I hereby furnish the particulars which are applicable to the under-mentioned property included in the 2022 General Valuation Roll effective from 1 July 2023.</p>	<p>Nginxwaminielo yamacandelo 48 neta 49 oMfetho angamaXabiso eePropati zikaMazipala nguNomb.6 wango 2004, nekufi emva koku kubhekiselwe kuwo ngokuba nguMfetho, ke ngoko ndinikezela ngeenkukacha opho zjolise kwipropati ekhankanywe ngezantsi apha ebandakanyisiweyo kuluhlu loqingqo-maxabiso ngokuphangaleleyo oluza kuqalisa ukusibenza ngomhla woku1 kweyeKhala 2023.</p>	<p>Ingevalge die bepalinge van artikel 48 en 49 van die Wet op Munisipale Eiendomsbelasting, Wet 6 van 2004, hierna die Wet genoem, verskaf ek die besonderhede wat betrekking het op die ondergenoemde eiendom wat in die bogenoemde algemene waardasie lys vir 2022 ingesluit is en wat op 1 Julie 2023 in werking tree.</p>
<p>Registered /other description of the property Inkcazelo ebhalisiweyo okanye alolunye uNoboyepropati Geregistreerde / ander beskrywing van eiendom</p>	<p>CCT019884400000 168212 CAPE TOWN</p>	
<p>Rating category of property Udidi lweXabiso lePropati Belastingkategorie van eiendom</p>	<p>VACANT LAND</p>	
<p>Physical address Idilesi yeNdawo Straaladres</p>	<p>37 LION STREET BO-KAAP</p>	
<p>Extent of the land (m²) UBukhulu bomhlaba (m²) Grootte van die grond (m²)</p>	<p>345</p>	
<p>Rates will be charged with effect from Imihumo iya kulhi ibizwe ukususela Eiendomsbelasting belaaibaar vanaf</p>	<p>2023/07/01</p>	
<p>Market value Ixabiso leNtengiso Markwaarde</p>	<p>R2500000</p>	

Louise Muller
Director: Valuations / Umlawuli woGingqo-maxabiso / Direkteur: Waardasies
2023/02/20

Making progress possible. Together.

Economic Viability StudyBased on design by Richard Perfect
April 2024**FEES ETC**

Professional Fees (including vat)				
Architect	4,0%	R	965 324,12	
Quantity Surveyor	2,0%	R	482 662,06	
Structural Engineer	2,5%	R	603 327,58	
Town Planner		R	41 500,00	
Electrical Engineer	0,5%	R	120 665,52	
Mechanical Engineer		R	-	
Land Surveyor (rezoning and or sectional title register)		R	34 000,00	
Disbursements		R	25 000,00	
		R	2 272 479,27	

Sundries fees and contributions (including vat)

Legal fees		R	10 000,00	
City council plan scrutiny & approval, etc		R	80 829,57	
City council departure application		R	52 815,00	
Consolidation and rezoning costs (see professional fees)			N/A	
Conveyancing of purchased property			N/A	
Rates and taxes (14 months)		R	9 800,00	
Income from existing units on erf 72 (6 months) net			N/A	
Marketing and promotion		R	-	
Relocation of existing tenants, etc			N/A	
NHBRV Levies on selling price (R34,000 per unit)		R	136 000,00	
Contingency (10%)		R	15 344,46	
		R	304 789,03	
TOTAL FEES, ETC		R	2 577 268,31	

DUTIES/VAT

Add Transfer duty on land acquisition			N/A	
TOTAL NET VAT EXPENDED		R	-	

ESTIMATE TOTAL CAPITAL EMPLOYED (Including VAT)

LAND COST INCLUDING COMMISSIONS		R	5 000 000,00	
TOTAL BUILDING COST INCLUDING ESCALATION		R	24 133 103,03	
TOTAL PROFESSIONAL FEES		R	2 272 479,27	
TOTAL SUNDRY FEES, ETC		R	304 789,03	
TOTAL NET VAT EXPENDED		R	-	
INTEREST ON BUILDING BOND	12%	1 562 556,72	1 562 556,72	
Cashflow factor 0,45				
		R	33 288 386,06	

TOTAL INCOME (Including VAT)

SALE OF APARTMENTS		each					
STOREROOM	m ²	41	10	R	10 000,00	R	408 000,00
PARKING BAYS	No	10	2	R	75 000,00	R	750 000,00
STUDIOS & PATIO - LGF	m ²	260	65	R	54 000,00	R	14 022 281,52
BEDROOMS & PATIO - GF	m ²	225	56	R	54 000,00	R	12 137 186,88
KITCHEN/LIVING PATIO - FF	m ²	195	49	R	54 000,00	R	10 504 110,24
ROOF - LIBRARY, PATIO & POOL	m ²	108	27	R	54 000,00	R	5 846 817,60
			197				
TOTAL INCOME (Including VAT)				R		R	43 668 396,24

INCOME OVER EXPENDITURE (before tax and interest)	R	10 380 010,18
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RETURN ON CAPITAL EMPLOYED	31,18%
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